

**HORICON TOWN BOARD
SPECIAL MEETING**

**JANUARY 16, 2025
4:00 PM**

Present at meeting:	Michael Geraci	Supervisor
	Kayla Carlozzi	Councilmember
	John Francisco	Councilmember
	Scott Hayes	Councilmember
	Krista Wood	Town Clerk
Absent:	Teri Schuerlein	Councilmember

Also: Becky Ross, Barb French, Bob and Sylvia Smith, Matt Wood, Assessor Christine Hayes, Jim Ventura, Janet Early, Wayne Butler, and Rob Wallace

Supervisor Geraci opened the special meeting at 4:00pm.

Supervisor Geraci explained that the Board has been discussing potential capital projects for over a year. He said Gary Ferree of Cedarwood Engineering has looked at these projects and has prepared a presentation that will review each individual project and what the associated costs will be so that the Board can have a discussion on each of them. The potential projects are:

- Brant Lake Recreation Area Master Plan
- New Maintenance/Restroom Building
- Adirondack Community Museum & Historical Society Building
- Horicon Town Museum Building
- Horicon Heintzelman Library
- Horicon Town Hall Roof Fascia Repair and Attic Ventilation

Supervisor Geraci asked for discussion to be held until Mr. Ferree completes his presentation so that everyone can understand the scope of each project.

Copy of presentation attached.

Supervisor Geraci asked Mr. Ferree if he feels certain projects should take priority over others. Mr. Ferree said he feels the Town Hall roof repair, the Heintzelman Library, and the two museum projects are the highest priority. Of those projects, he said the Museum Annex is probably the most important as the building is in very rough shape.

Supervisor Geraci asked for questions and comments from the Board.

Councilmember Carlozzi said she feels the idea is if the Town is going into these kinds of costs then why not do all the projects at once and get a BAN or a bond. She said there are priorities in terms of the condition of some of these buildings, but the Board should look at what they **need** and make a plan to do those projects rather than do them one at a time.

There was discussion regarding the pros and cons of each of the potential projects, the associated costs, and the needs of the Town in the future.

There was lengthy discussion regarding the options for the new maintenance building, restrooms, and food pantry. A suggestion was made to look into using the old Highway Garage as the maintenance building and having a new building at the Town Hall for the food pantry and restrooms.

In regard to the Museum Annex project in Adirondack, the discussion came down to the ongoing costs for repairs and maintenance due to the age of the building and whether it is financially in the best interest of the

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Town to keep putting money into the building, or instead to utilize the property in other ways or possibly consider selling the building. Supervisor Geraci said the Town has received grant money to cover some of the repairs to the building. The question was raised as to whether that grant money could be used for the Horicon Museum or the Heintzleman Library repairs instead; Supervisor Geraci said he would look into it.

Supervisor Geraci said, based on what the Board members have said, he understands the consensus of the Board is to check with Highway Superintendent Granger to see if the old Town Shed could be used for the maintenance building, and to check and see if there is a possibility of transferring the grant funding for the Museum Annex in Adirondack to either the Heintzleman or Horicon Museum projects.

Supervisor Geraci said the Board will come up with the finalized list of what the projects will be and what the cost of each will be and then decide how to fund them.

Adjourn... There being no further business to attend to the meeting was adjourned at 5:45 PM by MOTION of Councilmember Carlozzi and Councilmember Hayes, all in favor.

Respectfully Submitted:

Town Clerk

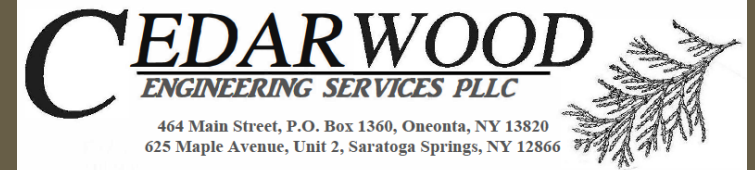


The Town of Horicon Capital Projects

PREPARED BY

Gary Ferree

gferree@cedarwoodengineering.com



PROPOSED PROJECTS

- Brant Lake Recreation Area Master Plan
- New Maintenance/Restroom Building
- Adirondack Community Museum & Historical Society Building
- Horicon Town Museum Building
- Horicon Heintzelman Library
- Horicon Town Hall Roof Fascia Repair and Attic Ventilation

Brant lake Recreation Area Master Plan

- Overall Summary

The proposed building options listed below were created so that the Town would have an overall perspective of what is practical, achievable, and best for the Town using existing structures and the possibility of building new ones. These options will address the need for public restrooms to serve the Brant Lake public beach and for community events such as Food Truck Fridays. Some options include the construction of a permanent pavilion which will allow for a covered eating area for a variety of events occurring on this site.

- Project Update

Options one, two and three are no longer a consideration since the Church with-in these options has been recently sold.

OPTION ONE

- Purchase Church and Renovate:

Overall, this building is in great shape for its age and could be repurposed into a social gathering place or be utilized as a community co-working space with public restrooms to serve the building and adjacent outdoor events.

Option 1 Cost breakdown:

Renovate Building with New Septic Field Adjacent to It:

Approximate construction cost estimate with septic absorption field adjacent to the existing = \$224,900.00

- 20% contingency = \$44,980.00
- Hazardous materials test report = \$3,500.00
- Total construction cost estimate = \$273,380.00

Renovate Building with New Septic Field Across the Parking Lot:

Approximate construction cost estimate with septic absorption field across parking lot = \$252,400.00

- 20% contingency = \$50,480.00
- Hazardous materials test report = \$3,500.00
- Total construction cost estimate = \$306,380.00

OPTION TWO

- Purchase Church, Renovate and Add New Addition:

Renovate church, add new addition, and new septic adjacent to building:

Approximate construction cost estimate with septic absorption field adjacent to the existing = \$309,150.00

20% contingency = \$61,830.00

Hazardous materials test report = \$3,500.00

Total construction cost estimate = \$374,480.00

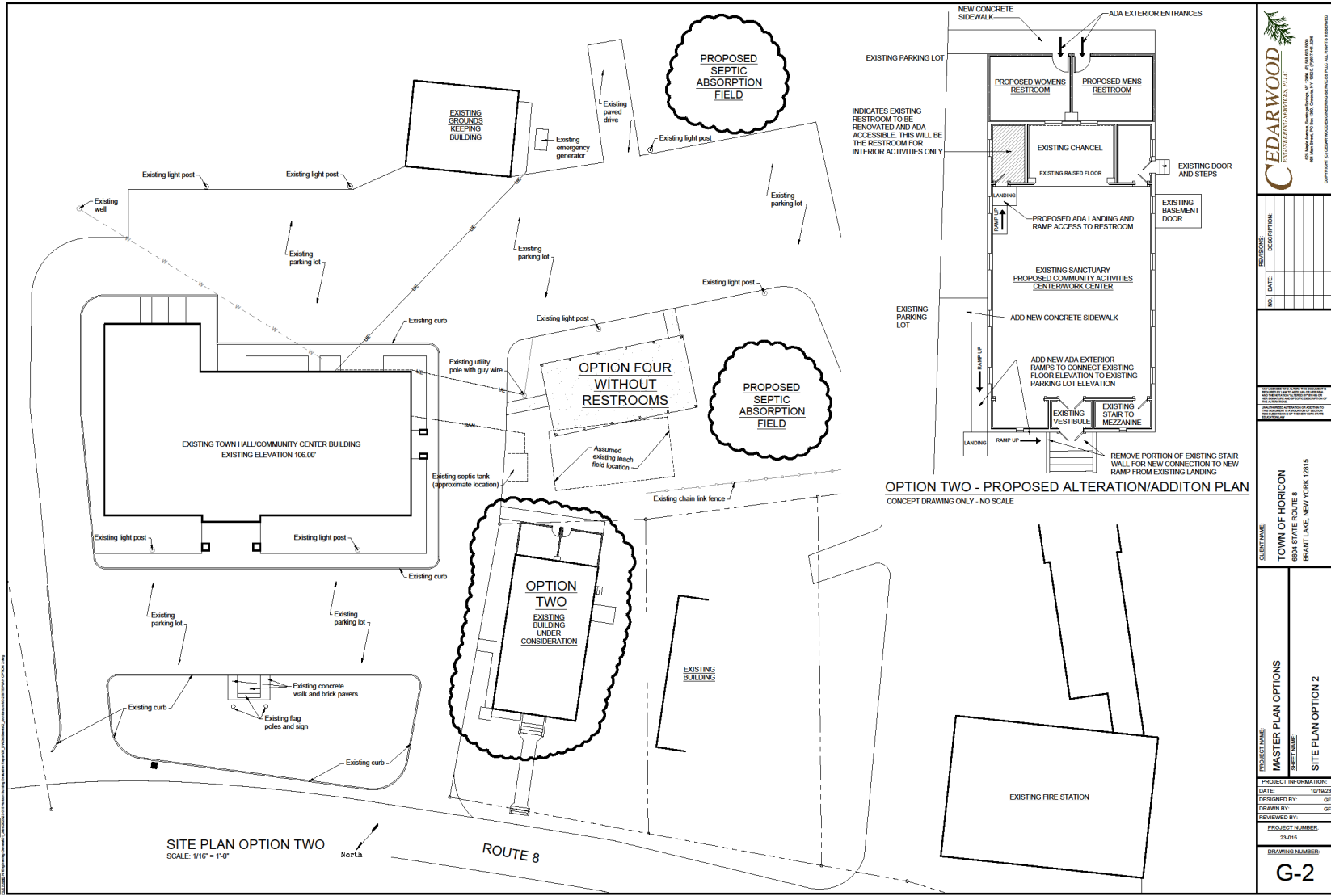
Renovate church, add new addition, and new septic across the parking lot:

Approximate construction cost estimate with septic absorption field across parking lot = \$317,650.00

20% contingency = \$63,530.00

Hazardous materials test report = \$3,500.00

Total construction cost estimate = \$384,680.00



SITE PLAN OPTION TWO
SCALE: 1/16" = 1'-0"

OPTION TWO - PROPOSED ALTERATION/ADDITON PLAN
CONCEPT DRAWING ONLY - NO SCALE

CEDARWOOD
ADVANCED ARCHITECTURE, LLC
100 W. MAIN ST. SUITE 200
BRANT LAKE, NY 12015
TEL: 518.784.1234
WWW.CEDARWOODARCHITECTURE.COM

NO.	DATE	REVISIONS	DESCRIPTION

CLIENT NAME: **TOWN OF HORICON**
6604 STATE ROUTE 8
BRANT LAKE, NEW YORK 12015

PROJECT NAME: **MASTER PLAN OPTIONS**
SHEET NAME: **SITE PLAN OPTION 2**

PROJECT INFORMATION:
DATE: 10/10/23
DESIGNED BY: GP
DRAWN BY: GP
REVIEWED BY: GP

PROJECT NUMBER: 23-015
DRAWING NUMBER: **G-2**

OPTION THREE

- Purchase/Demolish Church, Build New Pavilion with Restroom Facility:

Demolish church, build new pavilion and septic adjacent to church location:

Approximate construction cost estimate with septic absorption field adjacent to the existing = \$648,625.00

20% contingency = \$129,725.00

Hazardous materials test report = \$3,500.00

Total construction cost estimate = \$781,850.00

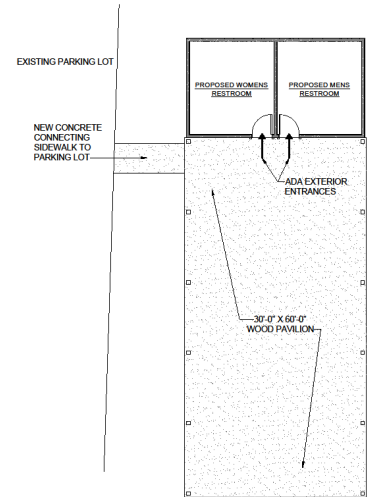
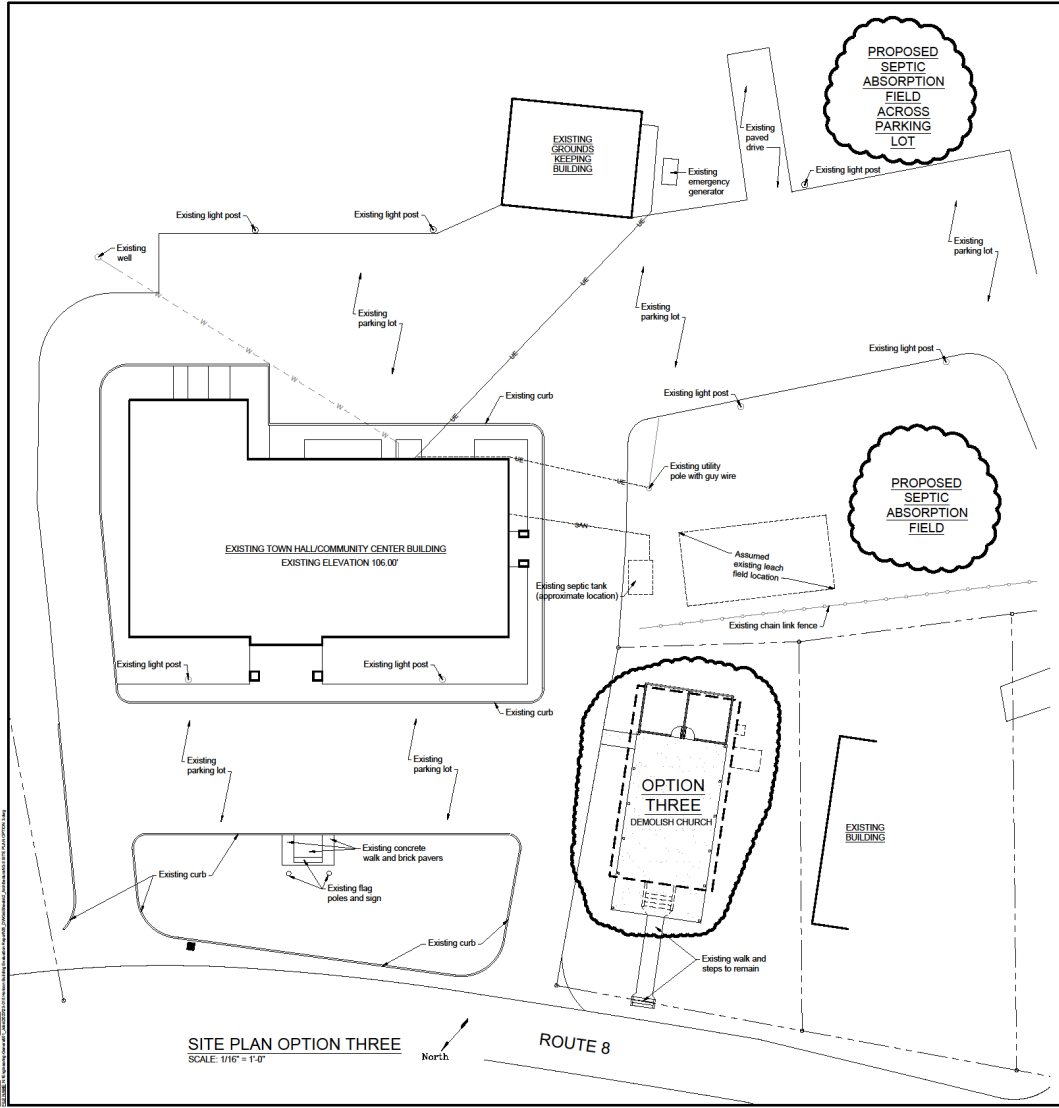
Demolish church, build new pavilion, and septic across the parking lot:

Approximate construction cost estimate with septic absorption field across parking lot = \$657,125.00

20% contingency = \$131,425.00

Hazardous materials test report = \$3,500.00

Total construction cost estimate = \$792,050.00



OPTION THREE - PROPOSED PAVILION WITH RESTROOMS
CONCEPT DRAWING ONLY - NO SCALE



PAVILION SHOWN IS A BUILDING KIT FROM A MANUFACTURE. THE RESTROOM FACILITY, NOT SHOWN WILL BE FIELD CONSTRUCTED ON THE GABLE END OF PAVILION KIT WITH CONTINUATION OF THE ROOF.

OPTION THREE - PROPOSED PAVILION DESIGN
CONCEPT DRAWING ONLY - NO SCALE

CEDARWOOD
LANDSCAPE ARCHITECTS, PLLC
400 HARTMAN RD. SUITE 1000, WYOMING, WY 83001-2000
WWW.CEDARWOODLANDSCAPEARCHITECTS.COM

NO.	DATE	REVISIONS / DESCRIPTION

PROJECT NAME: MASTER PLAN OPTIONS
SHEET NAME: SITE PLAN OPTION 3

CLIENT NAME: TOWN OF HORICON
6604 STATE ROUTE 8
BRANT LAKE, NEW YORK 12815

PROJECT INFORMATION:
DATE: 10/16/23
DESIGNED BY: GP
DRAWN BY: GP
REVIEWED BY: GP

PROJECT NUMBER: 23-015
DRAWING NUMBER: G-3

OPTION FOUR

- Build a New Pavilion with Restrooms @ Existing Septic Location:

New pavilion, restroom facility and septic adjacent to existing:

Approximate construction cost estimate with septic absorption field adjacent to the existing = \$569,000.00

20% contingency = \$113,800.00

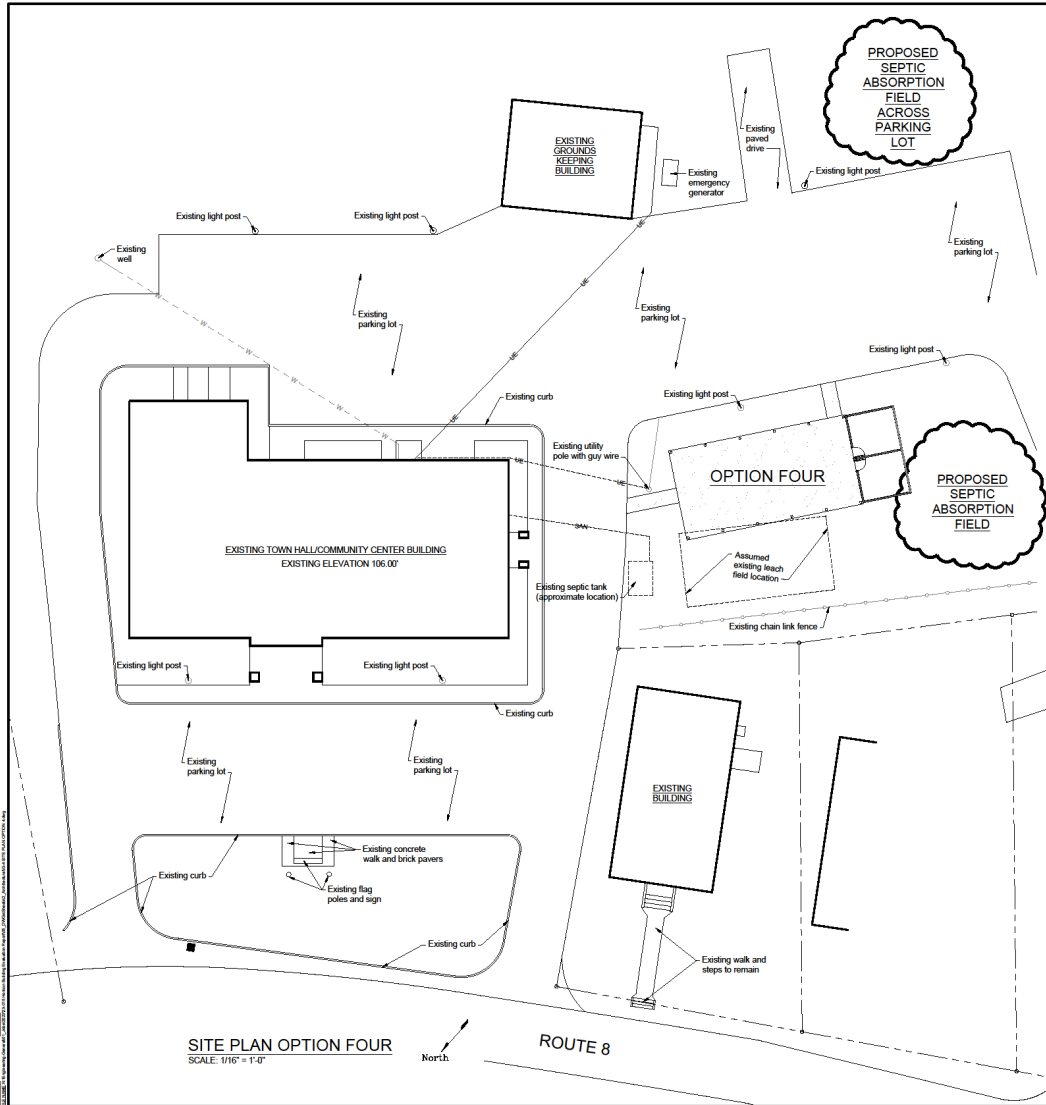
Total construction cost estimate = \$682,800.00

New pavilion, restroom facility, and septic across parking lot:

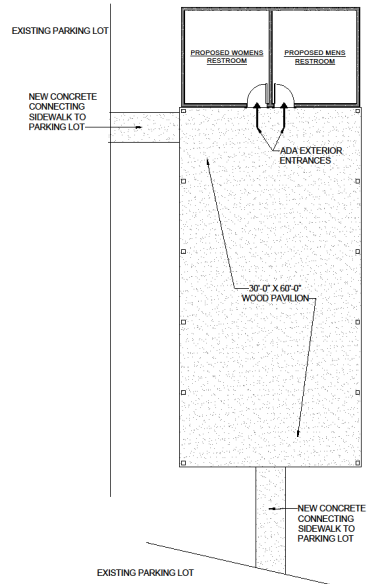
Approximate construction cost estimate with septic absorption field across parking lot = \$577,500.00

20% contingency = \$115,500.00

Total construction cost estimate = \$693,000.00



SITE PLAN OPTION FOUR
SCALE: 1/16" = 1'-0"



OPTION FOUR - PROPOSED PAVILION WITH RESTROOMS
CONCEPT DRAWING ONLY - NO SCALE



PAVILION SHOWN IS A BUILDING KIT FROM A MANUFACTURER. THE RESTROOM FACILITY, NOT SHOWN WILL BE FIELD-CONSTRUCTED ON THE GABLE END OF PAVILION KIT WITH CONTINUATION OF THE ROOF.

OPTION FOUR - PROPOSED PAVILION DESIGN
CONCEPT DRAWING ONLY - NO SCALE

NO.	DATE	REVISIONS	DESCRIPTION

CLIENT NAME: TOWN OF HORICON
6604 STATE ROUTE 8
BRANT LAKE, NEW YORK 12015

PROJECT NAME: MASTER PLAN OPTIONS
SHEET NAME: SITE PLAN OPTION 4

PROJECT INFORMATION	
DATE:	10/16/23
DESIGNED BY:	GP
DRAWN BY:	GP
REVIEWED BY:	
PROJECT NUMBER: 23-015	
DRAWING NUMBER: G-4	

OPTION FIVE

- Renovate Existing Groundskeeping Building:

Renovate Groundskeeping building with septic adjacent:

Approximate construction cost estimate with septic absorption field adjacent to the existing = \$320,500.00

20% contingency = \$64,100.00

Hazardous materials test report = \$3,500.00

Total construction cost estimate = \$388,100.00

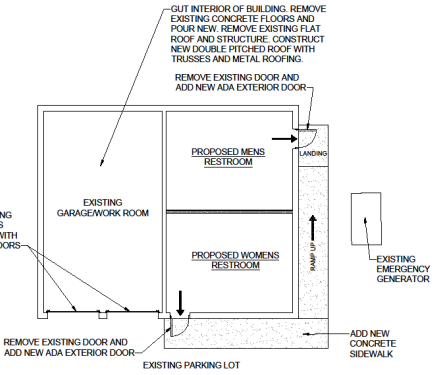
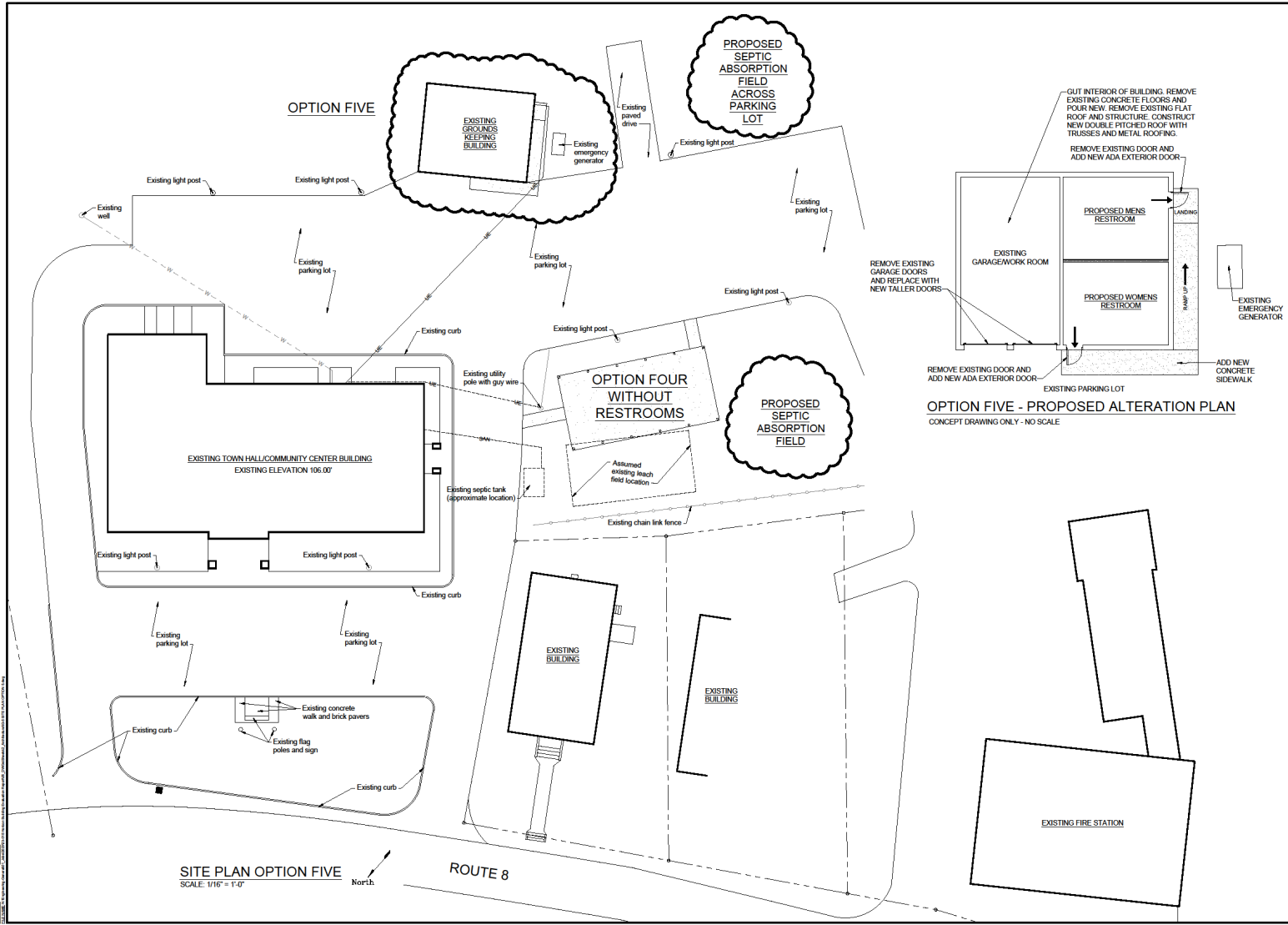
Renovate Groundskeeping building with septic across parking lot:

Approximate construction cost estimate with septic absorption field across parking lot = \$329,000.00


20% contingency = \$65,800.00

Hazardous materials test report = \$3,500.00

Total construction cost estimate = \$398,300.00



OPTION FIVE - PROPOSED ALTERATION PLAN
CONCEPT DRAWING ONLY - NO SCALE



445 Madison Ave 10th Floor, New York, NY 10017-1003
 212.691.1111
 cedarwoodarch.com

NO.	REVISION	DESCRIPTION

PROJECT NAME: MASTER PLAN OPTIONS
 SHEET NAME: SITE PLAN OPTION 5
 CLIENT NAME: TOWN OF HORICON
 8604 STATE ROUTE 8
 BRANT LAKE, NEW YORK 12815

PROJECT INFORMATION:
 DATE: 10/16/23
 DESIGNED BY: GP
 DRAWN BY: GP
 REVIEWED BY: GP
 PROJECT NUMBER: 23-015
 DRAWING NUMBER: G-5

OPTION SIX

- Demolish Existing Groundskeeping Building and Build New Building:

New building with septic adjacent to building:

Approximate construction cost estimate with septic absorption field adjacent to the existing = \$522,940.00

20% contingency = \$104,588.00

Hazardous materials test report = \$3,500.00

Total construction cost estimate = \$631,028.00

New building with septic across the parking lot:

Approximate construction cost estimate with septic absorption field across parking lot = \$531,440.00

20% contingency = \$106,288.00

Hazardous materials test report = \$3,500.00

Total construction cost estimate = \$641,228.00

OPTION SEVEN

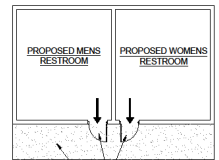
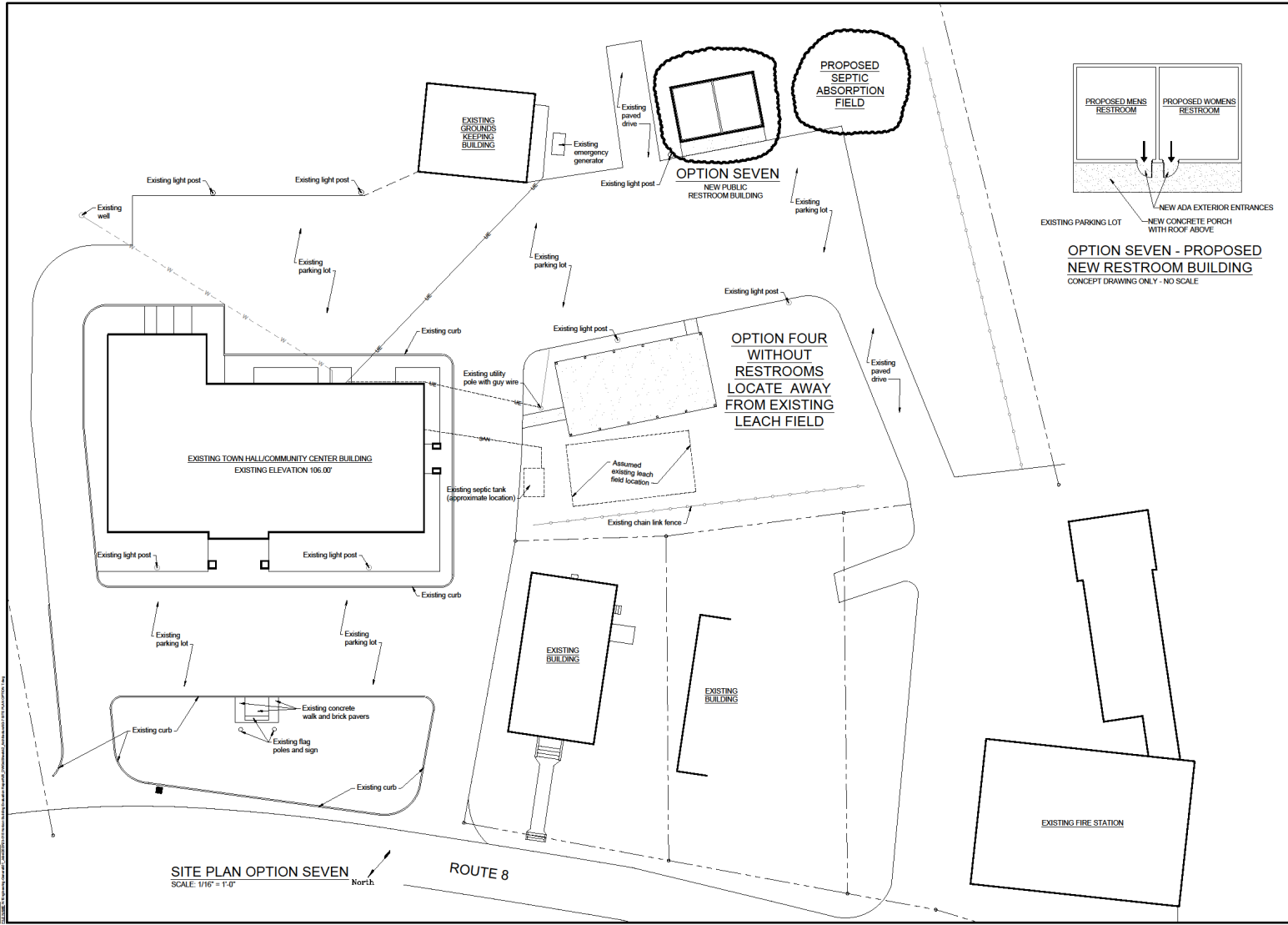
- **Build New Public Restroom Facility Building:**

New building with septic adjacent to building:

Approximate construction cost estimate with septic absorption field adjacent to building = \$144,000.00

20% contingency = \$28,800.00

Total construction cost estimate = \$172,800.00



OPTION SEVEN - PROPOSED NEW RESTROOM BUILDING
 CONCEPT DRAWING ONLY - NO SCALE

SITE PLAN OPTION SEVEN
 SCALE: 1/16" = 1'-0"
 North

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NO.	DATE	REVISIONS	DESCRIPTION

CLIENT NAME: **TOWN OF HORICON**
 6604 STATE ROUTE 8
 BRANT LAKE, NEW YORK 12015

PROJECT NAME: **MASTER PLAN OPTIONS**
 SHEET NAME: **SITE PLAN OPTION 7**

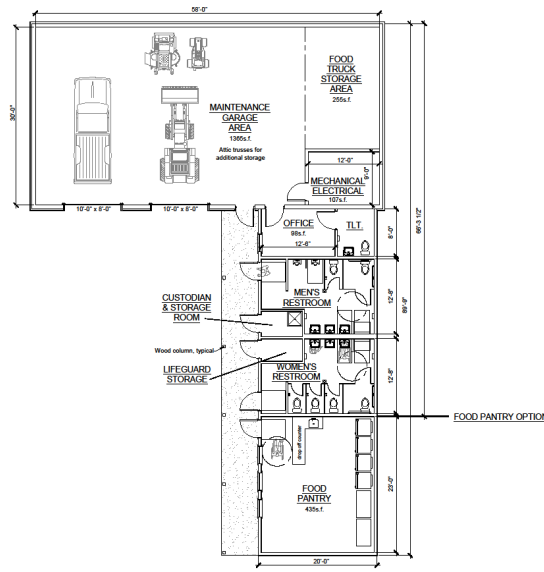
PROJECT INFORMATION:
 DATE: 10/16/23
 DESIGNED BY: GP
 DRAWN BY: GP
 REVIEWED BY: GP

PROJECT NUMBER: 23-015
 DRAWING NUMBER: **G-7**

Build New Maintenance/ Restroom Building

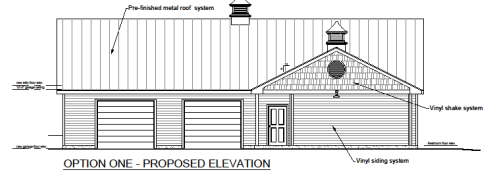
- Overall Summary

The proposed new building options shown below were created so that the Town would have another option in lieu of the other seven options. These new building options will address the need for public restrooms to serve the Brant Lake public beach and for community events such as Food Truck Fridays. Both new building options will require a new septic field as shown on the attached drawings.

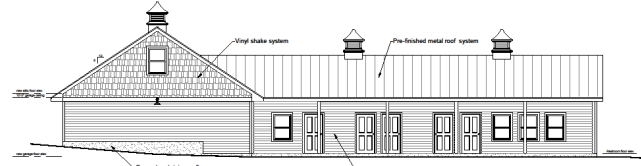


OPTION ONE - PROPOSED NEW MAINTENANCE/RESTROOM BUILDING
SCALE: 1/8" = 1'-0"

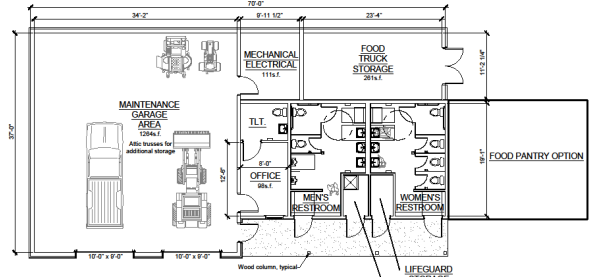
CLASSIFICATION GROUP: S-1 FOR MAINTENANCE AREA, GROUP B FOR RESTROOM/FOOD PANTRY - ONE STORY.
2 HOUR SEPARATION BETWEEN GROUPS
CONSTRUCTION CLASSIFICATION: MAINTENANCE AREA = TYPE III-B UNPROTECTED COMBUSTIBLE (ORDINARY).
2 hour Exterior walls.
CONSTRUCTION CLASSIFICATION: RESTROOM/FOOD PANTRY = TYPE V-B UNPROTECTED WOOD FRAME.
BUILDING SQUARE FOOTAGES: Footprint shown = 3,023 s.f./ Without Food Pantry = 2,554 s.f.
APPROXIMATE BUILDING COST: \$125,520.00 or \$612,960.00 without Food Pantry



OPTION ONE - PROPOSED ELEVATION

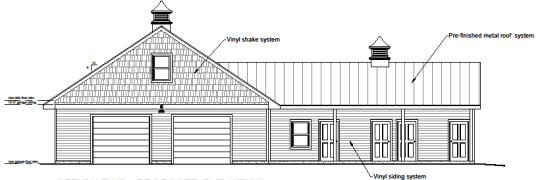


OPTION ONE - PROPOSED ELEVATION



OPTION TWO - PROPOSED NEW MAINTENANCE/RESTROOM BUILDING
SCALE: 1/8" = 1'-0"

CLASSIFICATION GROUP: S-1 FOR MAINTENANCE AREA, GROUP B FOR RESTROOM/FOOD PANTRY - ONE STORY.
2 HOUR SEPARATION BETWEEN GROUPS
CONSTRUCTION CLASSIFICATION: MAINTENANCE AREA = TYPE III-B UNPROTECTED COMBUSTIBLE (ORDINARY).
2 hour Exterior walls.
CONSTRUCTION CLASSIFICATION: RESTROOM/FOOD PANTRY = TYPE V-B UNPROTECTED WOOD FRAME.
BUILDING SQUARE FOOTAGES: Footprint shown = 2,474 s.f./ With Food Pantry = 2,946 s.f.
APPROXIMATE BUILDING COST: \$593,760.00 or \$707,040.00 with Food Pantry



OPTION TWO - PROPOSED ELEVATION



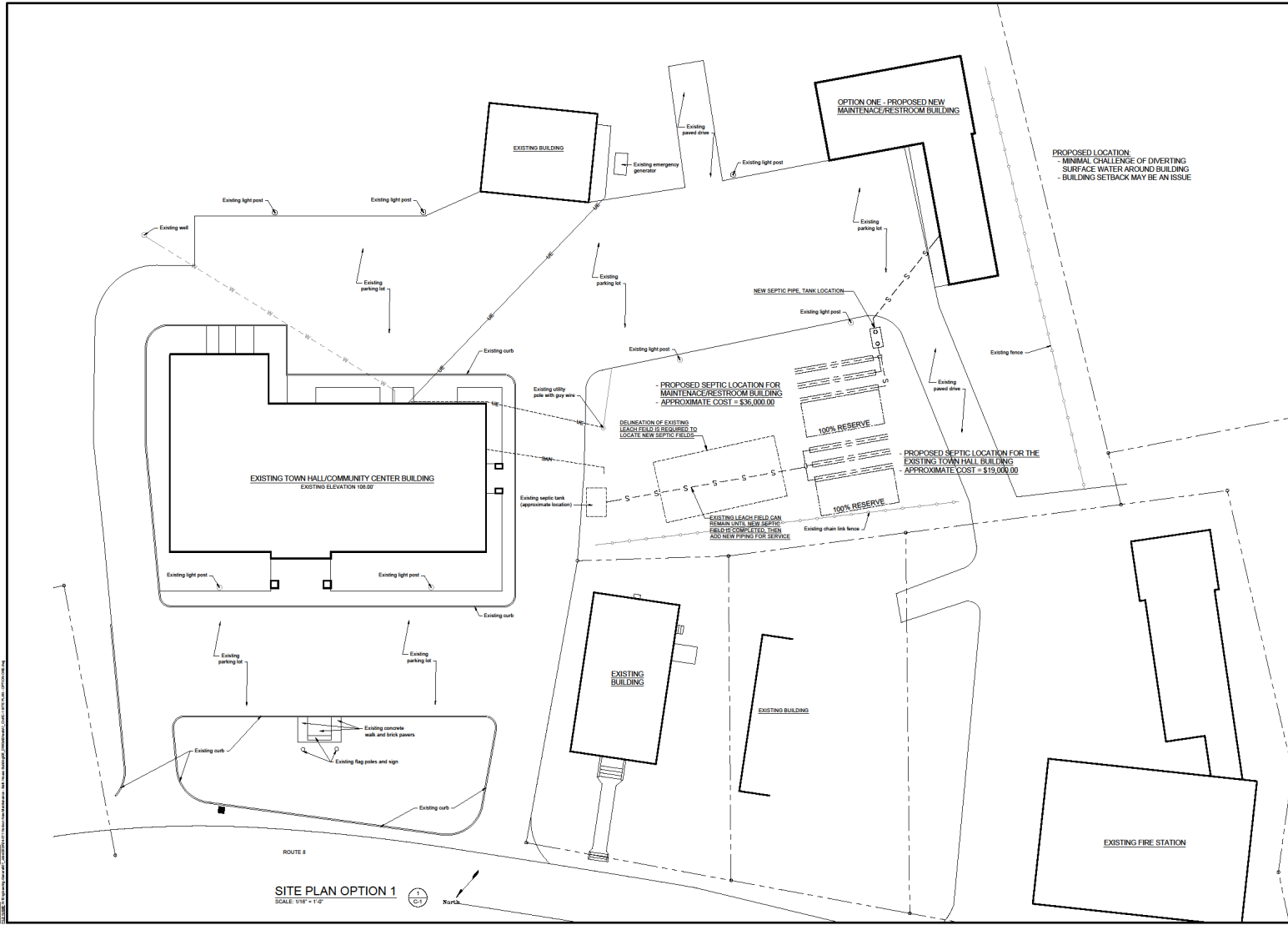
NO.	DATE	REVISIONS/DESCRIPTION

PROJECT NAME: FLOOR PLAN AND SITE OPTIONS
SHEET NAME: FLOOR PLAN OPTIONS

CLIENT NAME: TOWN OF HORICON
6604 STATE ROUTE 8
BRANT LAKE, NEW YORK 12615

PROJECT INFORMATION:
DATE: 05/11/2024
DESIGNED BY: GP
DRAWN BY: GP
REVIEWED BY: GP
PROJECT NUMBER: 24-011
DRAWING NUMBER: A-1

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 6604 STATE ROUTE 8, BRANT LAKE, NEW YORK 12615
 518-361-1111
 CEDARWOOD ENGINEERING ARCHITECTURE PLLC



PROPOSED LOCATION - MINIMAL CHALLENGE OF DIVERTING SURFACE WATER AROUND BUILDING - BUILDING SETBACK MAY BE AN ISSUE

SITE PLAN OPTION 1
SCALE: 1/8" = 1'-0"

CEDARWOOD
ADVANCED LAND SERVICES, LLC
1000 West 10th Street, Suite 100, Fort Collins, CO 80521
www.cedarwoodadvanced.com

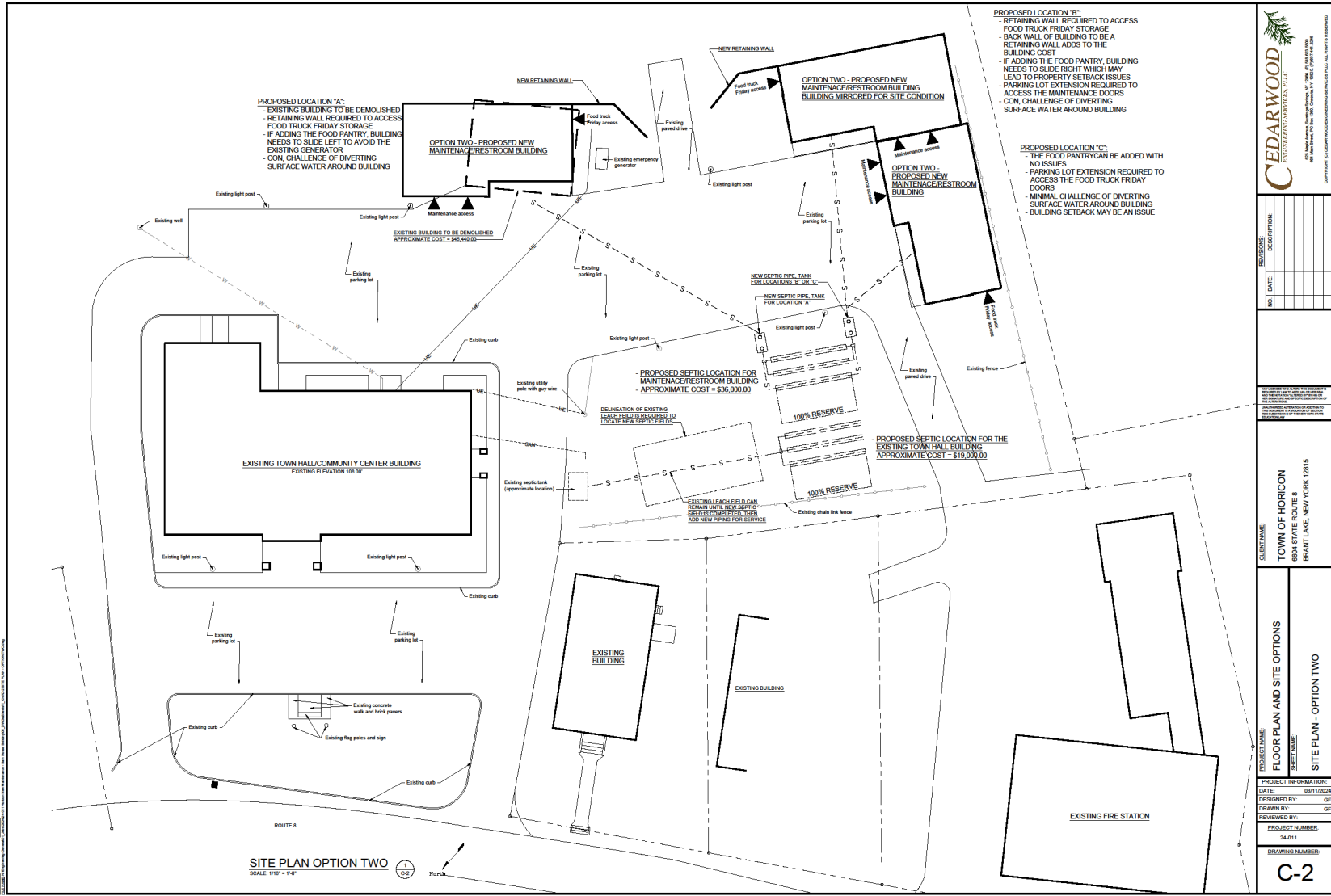
NO.	DATE	REVISIONS / DESCRIPTION

PROJECT NAME: FLOOR PLAN AND SITE OPTIONS

SHEET NAME: SITE PLAN - OPTION ONE

CLIENT NAME: TOWN OF HORICON
6604 STATE ROUTE 8
BRANT LAKE, NEW YORK 12815

PROJECT INFORMATION	DATE: 09/11/2024
DESIGNED BY: GP	DRAWN BY: GP
REVIEWED BY: GP	PROJECT NUMBER: 24-011
DRAWING NUMBER: C-1	



CEDARWOOD
 ADVANCING SURVEY, LLC
 400 W. Main St. Suite 100, Brant Lake, NY 12015
 CONTACT: 518-249-0000, CEDARWOOD@CEDARWOODSURVEYING.COM, WWW.CEDARWOODSURVEYING.COM

NO.	DATE	REVISIONS	DESCRIPTION

CLIENT NAME: TOWN OF HORICON
 600A STATE ROUTE 8
 BRANT LAKE, NEW YORK 12015

PROJECT NAME: FLOOR PLAN AND SITE OPTIONS
SHEET NAME: SITE PLAN - OPTION TWO

PROJECT INFORMATION:
 DATE: 09/11/2024
 DESIGNED BY: GP
 DRAWN BY: GP
 REVIEWED BY: GP

PROJECT NUMBER: 24-011
DRAWING NUMBER: C-2

Adirondack Community Museum & Historical Society Building

- Overall Summary

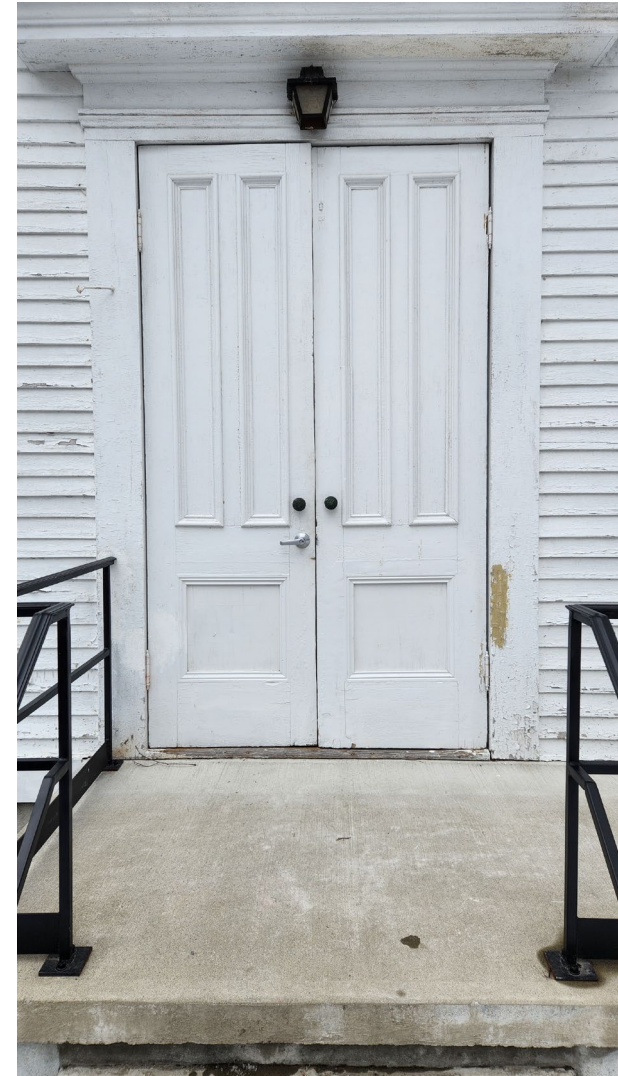
The subject property consists of an existing one-story wood frame building constructed in 1881, formally the Union Church. The exterior wood siding, trim, fascia, soffit, and brackets have obvious signs of paint failure indicated by cracking, peeling, and bubbling on all painted surfaces. Horizontal surfaces susceptible to rain and snow such as the windowsills are mostly bare wood and show signs of deterioration. The exterior wood double-hung windows also exhibit the same paint issues along with missing and dried-out window glazing which exposes the bare wood. The exterior wood doors also have identical paint with defects of a warped door leaf, no weatherstripping, and an exposed wood door threshold that is worn and deteriorated from time and use. These recommendations below are grouped by scope of work which can be separated and completed at different times as monies are available. Any work that is to occur offsite, such as fixing the doors and reglazing the windows, shall have their openings protected from intruders and weather. Exterior primer and paint coating shall be the recommendation of the painting contractor, color to match the existing unless directed otherwise by the owner.



Exterior Front Doors

After removal, the doors shall have their hardware and paint coating removed to prepare for the next step of unwarping the door. Correcting warps in doors usually involves clamping, moisture, and sanding of the bare wood door. If the door cannot hold the corrections, a new wood door will be required either by obtaining a used old door or constructing a door to match the existing one to be replaced. After all alterations and corrections are made, the doors shall be prepared to receive a new exterior primer and paint coating. The existing door hardware shall be cleaned and reinstalled. The work will include the complete door installation on-site and installation of new weatherstripping including bottom sweep. The new threshold will be primed and painted after installation to match the doors.

Cost Estimate = \$4,800.00



Exterior Windows

Each sash shall have all hardware, paint coating, and glazing putty removed to bare wood. Any deteriorated/rotten wood muntin or frame members will require replacement with new wood to match the existing size and profile. Replace any cracked/broken glass to match the existing. Re-install all glass panels with glazing compound and new glazier points. New weatherstripping shall be installed at this point as this may require a groove to be routed in to accept a silicone barb type weatherstripping. Prepare sashes to receive a new exterior primer and paint coating. The existing window hardware shall be cleaned and reinstalled. Prior to the re-installation of window sashes, the perimeter wood jambs and bottom wood sill will require paint removal. Unless the wood sill is completely rotten, all wood sills will require an exterior epoxy resin wood filler applied to the surface and sanded smooth. Apply exterior paintable silicone caulk where the jamb meets the sill. Prepare these surfaces for a new exterior primer and paint coating.

Cost Estimate = \$9,600.00



Exterior Siding, Cupola, Fascia and Decorative Trim

Painting contractor shall take precautions to safely remove the lead paint, clean up, and dispose of waste that meets all federal and local regulations. After completion of paint removal and sanding, fill any holes, cracks, and small sections of deteriorated wood with an exterior epoxy resin wood filler and sand smooth. Replace any deteriorated/rotted siding or trim with new to match the existing size and profile. Apply exterior paintable silicone caulk where the trim meets the siding. Prepare all surfaces for a new exterior primer and paint coating.

Cost Estimate = \$56,784.00



Horicon Town Museum Building

- Overall Summary

This property has a group of existing buildings with the subject building consisting of a nine-room two-story wood-framed farmhouse constructed in the 1890's.

The exterior wood siding, trim, fascia, soffit, railing, and porch columns are in very good shape. All these painted surfaces do not indicate any type of failure. The metal roofing is in good shape; however, it is starting to indicate signs of surface rust. The windows and doors are also in good shape. The fieldstone and concrete foundation are in good shape; however, parts of the fieldstone have signs of deterioration within the mortar that should be addressed. Both foundations have groundhog burrow entrances which will also require attention.

The interior ceiling and wall materials are in good shape, however, there are some areas, especially under the windows that have plaster delaminating from its wood lath. The interior wood trim throughout looks to be in good condition. There are a variety of finished floor materials throughout this farmhouse and for the most part, they seem to be in good condition, although some of these floor materials such as linoleum are showing their age.

One concern for both the first and second floors is the need for conditioned air for 12 months out of the year. There is virtually no heat in the building during the winter's cold and dry conditions, and in the summer, humidity allows for extremely damp conditions that will affect not only the building materials but everything within this building. Since this report, three (3) mini split systems have been installed to correct this issue.

The basement has field stone walls which look good, a dirt floor, and a first-floor framing construction consisting of log beams and a wood plank subfloor which all look in good shape. There are some issues of concern such as the basement window which is virtually gone and allows water, insects, and animals to access this basement area. The other concern is with the dirt floor and the dampness that can rise from the earth.

Horicon Heintzelman Library

- Overall Summary

The subject building consists of a one-room, one-story, wood frame with stone foundation building constructed in 1907 and is on the National Register of Historic Places.



Slate Roof Replacement

- Remove the existing ridge trim and save for reinstallation after new slate shingles are installed. Remove natural slate roof shingles entirely to expose the wood roof sheathing.

Cost Estimate = \$8,500.00

- Replace all deteriorated wood roof sheathing boards in-kind.

Cost estimate = \$1,500.00 based on 10% of roof area.

- Install ice and water shield over entire roof sheathing surface prior to installing new natural slate roof shingles.

Cost estimate = \$5,100.00

- Remove existing metal chimney arrester and roof flashing from chimney and discard. Install new stainless steel chimney arrester cap. Repoint the brick joints and install new lead-stepped roof flashing on all 4 sides of the chimney.

Cost estimate = \$3,500.00

- Provide/Install new natural slate roof.

Cost Estimate = \$30,600.00

- Clean/reinstall existing lead ridge trim.

Cost estimate = \$600.00



Exterior Wood Trim and Shakes

- There are some areas that require attention, such as replacing deteriorated wood components as required to match existing. These new wood components then must be primed and painted to match existing adjacent components.

Cost Estimate = \$3,200.00 including scaffolding setup for areas that require attention.



Exterior Stone Foundation Wall

- There are some stones missing within the dry stack stone wall of the building. Replacement stone of same kind to be installed and set into Type S mortar to match same method as existing.

Cost Estimate = \$1,200.00.



Horicon Town Hall Roof Fascia Repair and Attic Ventilation

- Overall Summary

The subject building consists of a standing seam roof system that extends down creating the fascia. Over the years manual snow removal has taken its toll on this fascia as there are several areas where the rib corner trim has become un-attached which allows water to enter behind this system. Also, removing snow from this roof has accumulated several dents and scratches which is aesthetically unpleasing for a public building.

This scope of work includes removal of the standing seam fascia system perimeter of building and replace with a traditional fascia system as indicated on the attached drawing.

Cost Estimate for Fascia = \$86,400.00 Cost Estimate for Snow Guards = \$26,620.00

This building also has heating, cooling, and ice dam issues which is due to the lack of cross ventilation from the soffit vents to the gable louvers within the attic space. Because of code, there were fire areas designated within the building and these areas were sectioned off utilizing fire-rated walls extending up to the bottom of the roof sheathing. Because these walls extended to the roof sheathing, it sectioned areas off from one another which blocked airflow from venting some of these areas.

This scope of work includes adding fire dampers within the fire-rated walls which allows airflow and installing electric gable vents to draw airflow from the soffit vents to these fans as indicated on the attached drawing.

Cost Estimate = \$9,600.00

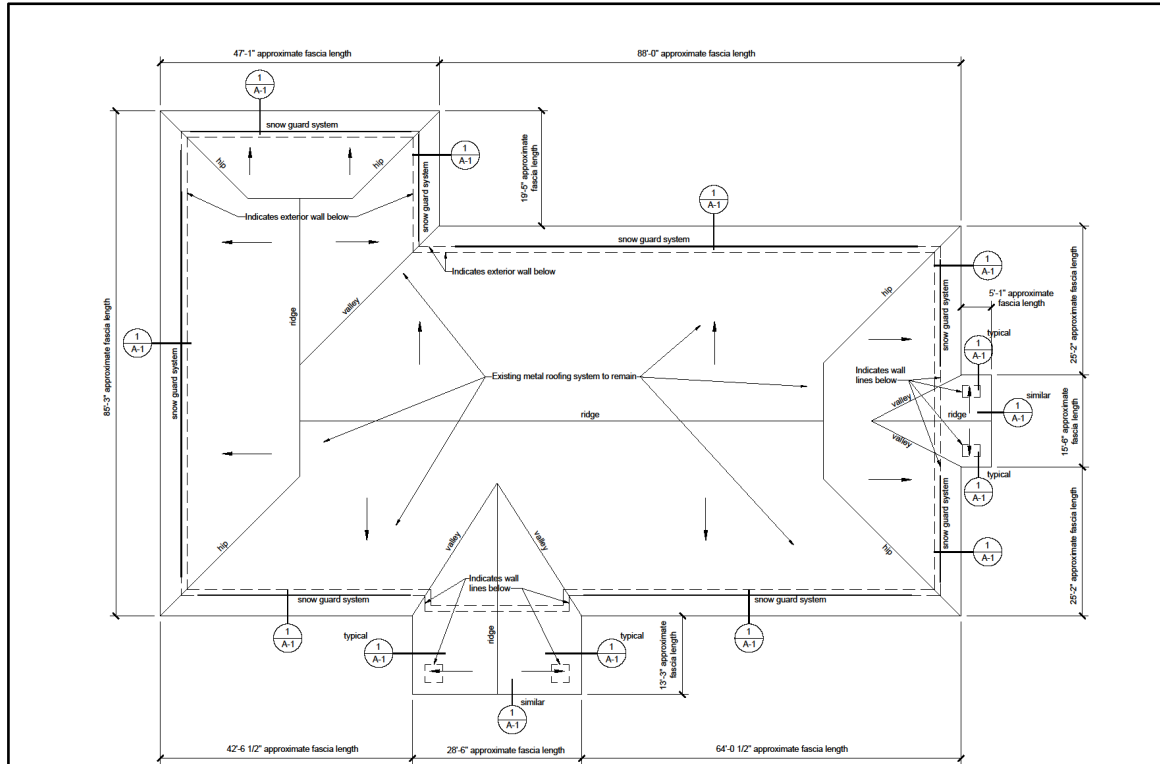
Roof Fascia

Corner Rib Cover Trim torn from the standing seam roof ribs, allowing water to enter the wood fascia substructure



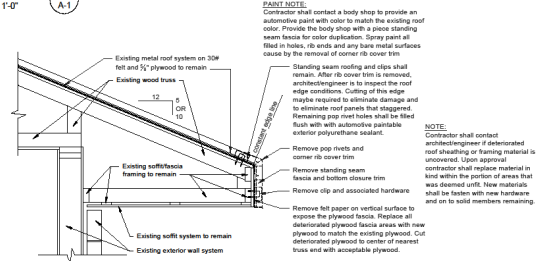
Standing Seam Fascia system is detached from the wood fascia substrate could be caused by water entering from torn corner rib cover trim and deteriorating the wood substrate



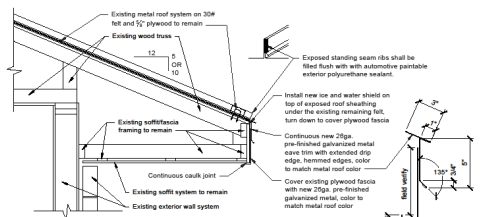


ROOF PLAN
SCALE: 1/4" = 1'-0"

- NOTES:**
- Contractor shall contact owner of scheduled work 3 days prior to start of that work. Such work especially that are at the building entrances will allow the owner to make alternate accommodations for entering this building during business hours.
 - Contractor shall provide all labor, materials, tools and equipment as required to perform the work within this document. Equipment such as ladders and scaffolding shall meet OSHA laws.
 - Contractor shall obtain any building permits at owner's cost required to perform this work within this document.
 - Contractor shall coordinate with owner for location of stored materials onsite and deliver as to avoid conflicts with daily activities during business hours.
 - All materials shall be new, undamaged and of quality.
 - Unacceptable materials shall be removed from site at contractors expense. All work shall be of good quality, free from faults and defects, and performed by skilled qualified workers.
 - Contractor shall protect all landscaping and building elements such as windows, lights, ect. within the area of work. Any damage shall be replaced in kind by the contractor. Contractor shall keep work areas clean of debris and trash during the progress of the work.
 - Contractor shall remove all demolished building material from site to a approved collection agency.
 - Prior to substantial completion of work, Contractor shall clean the work area site and make it ready for utilization by Owner.
 - Contractor shall remove from the site all tools, construction equipment, surplus materials and restore to original condition.
 - Owner and Contractor shall obtain and maintain insurance.
 - Owner will provide temporary sanitation facilities and electricity.



TYPICAL ROOF FASCIA DETAIL - DEMOLITION
SCALE: 1" = 1'-0"



TYPICAL ROOF FASCIA DETAIL REPAIR
SCALE: 1" = 1'-0"

Two Bar SnoBar

Available in both SnoBar and ColorBar

Call Today For A Quote!

Our exclusive Double Bar Mounts are perfect for projects that require a two bar system in their specifications. This innovative mounting system allows contractors and other products to be safely installed on standing seam roofs without leaks, damage, or voided warranties. Contractors from existing aluminum and utilizing the proven power of our patented RoofClamp, these mounts can be used for new or existing roofs. Attachment is achieved with our Support Tie Stainless Steel Screws. These specially designed screws permanently anchor to the seam. They require 500 in. lbs. of torque, whereas round top set screws can require up to 100 in. lbs. Less torque means more efficient fastening power and less chance of damaging the seam. Installation is fast and easy, while avoiding costly damage to the roof finish.

SnoBar-Double 671 Willow Street Lemoyne, PA 17043 www.SNOBLOX-SNOBAX.com (800)766-5291

ALTERNATE PRICE QUOTE; BASIS OF DESIGN FOR ROOF SNOW GUARD OR EQUAL IS ACCEPTABLE

- SNOW GUARD NOTES:**
- NO FASTENING PENETRATIONS OR ADHESIVE METHODS ARE ACCEPTABLE. ONLY A CLAMPING ATTACHMENT SYSTEM TO EXISTING METAL SEAM STANDING RIB IS ACCEPTABLE.
 - CONTRACTOR SHALL VERIFY COMPATIBILITY BETWEEN THE EXISTING STANDING SEAM PROFILE WITH THE MANUFACTURERS CLAMPING SYSTEM AND RIB SPACING PRIOR TO PURCHASING. CONTRACTOR SHALL FOLLOW MANUFACTURERS INSTALLATION REQUIREMENTS.
 - MILLED ALUMINUM FINISH WITH STAINLESS STEEL FASTENERS.
 - SEE ROOF PLAN FOR LOCATION OF SNOW GUARDS. PROVIDE AND INSTALL PER THIS LAYOUT UTILIZING MANUFACTURERS STANDARD LENGTHS.
 - SNOW GUARD SYSTEM SHALL BE MOUNTED UP ROOF SLOPE AT EXTERIOR WALL LINE BELOW.

CEDARWOOD
ADVANCED MATERIALS, LLC

1 (800) 766-5291
(717) 737-4398
www.SNOBLOX-SNOBAX.com

NO.	REVISIONS	DESCRIPTION

CLIENT NAME: TOWN OF HORICON
6004 NYS
BRANT LAKE, NEW YORK 12815

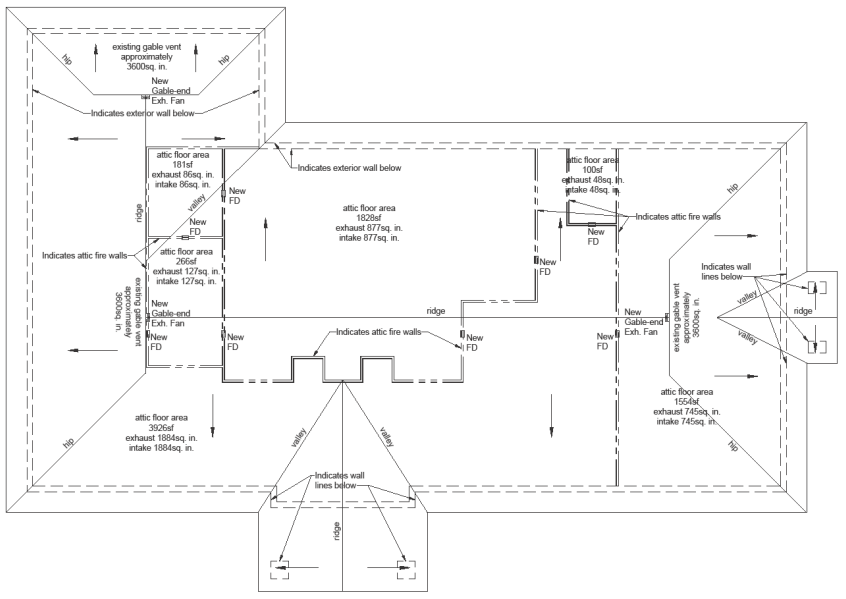
PROJECT NAME: ROOF FASCIA REPAIR
SHEET NUMBER: 1

PROJECT INFORMATION:
DATE: 11/01/2024
DESIGNED BY: GF
DRAWN BY: GF
REVIEWED BY: GF

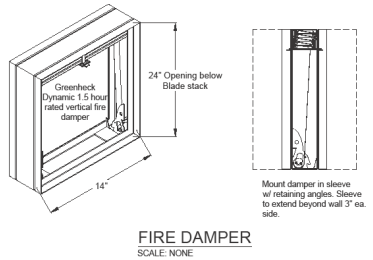
PROJECT NUMBER: 24-024

DRAWING NUMBER: A-1

- NOTES:**
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 - Contractor shall remove from the site all tools, construction equipment, surplus materials and restore to original condition.
 - Owner and Contractor shall obtain and maintain insurance.
 - Owner will provide temporary sanitation facilities and electricity.
 - Exhaust fan Basis of Design shall be Living Variable Speed Attic Gable Fan Model ILGG14-Z2ST (Fan & Thermostad Controller) Available from Home Depot (Item 1007610680), 14" ventilator, 233R CFM, 120 VAC, 2.55 Amp, Galv. Steel Housing, Thermal Protection, 6 ft. cord, Niema 5-15P plug, mounting brackets.
 - Fire damper Basis of Design shall be Greenheck DFD-110, 1.5 Hr. Dynamic-Rated Fire Damper, UL 555, 26" H x 14" W (24" x 14" clear opening) with 14 GA. Sleeve and 20 Ga. POC Galv. Steel retaining angles, Vertical Mounting. Sleeve shall extend beyond wall 3" ea. side.



ATTIC VENTILATION PLAN
 SCALE: 1/4" = 1'-0"



FIRE DAMPER
 SCALE: NONE

NO.	DATE	REVISIONS	DESCRIPTION

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

CLIENT NAME:
 TOWN OF HORICON
 6604 NY-8
 BRANT LAKE, NEW YORK 12815

PROJECT NAME:
 ROOF FASCIA REPAIR

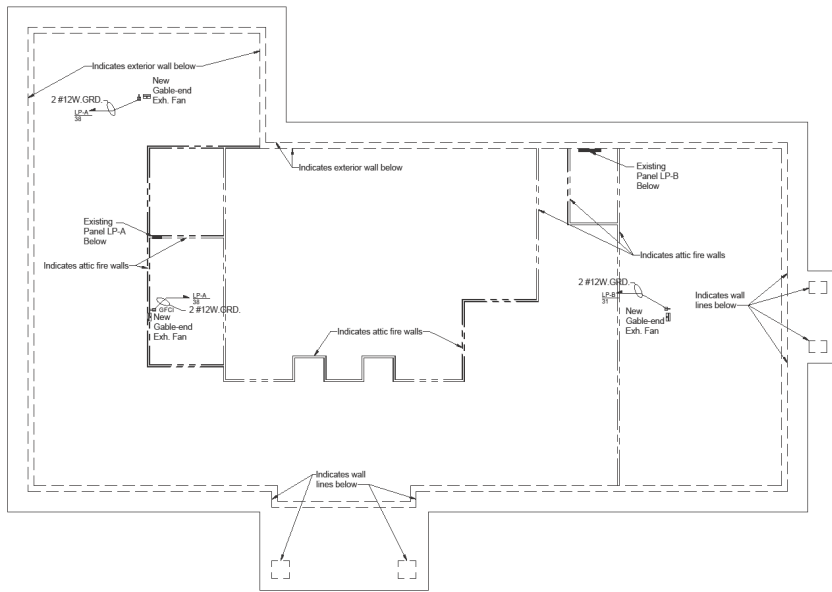
SHEET NAME:
 ATTIC VENTILATION PLAN

PROJECT INFORMATION:
 DATE: 12/16/2024
 DESIGNED BY: PB
 DRAWN BY: PB
 REVIEWED BY: GF

PROJECT NUMBER:
 24-204

DRAWING NUMBER:
 AV-1

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ATTIC ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

NOTES:

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 - Contractor shall remove all demolished building material from site to a approved collection agency.
 - Prior to substantial completion of work, Contractor shall clean the work area site and make it ready for utilization by Owner.
 - Contractor shall remove from the site all tools, construction equipment, surplus materials and restores to original condition.
 - Owner and Contractor shall obtain and maintain insurance.
 - Owner will provide temporary sanitation facilities and electricity.
 - Provide a duplex Niema 5-15P GFCI receptacle within 4 ft. of new exhaust fan. Provide a 15A, 1P breaker in panel as indicated.
- Field verify panel space is available, circuit number is based on existing drawings and must be adjusted as required.



NO.	DATE	REVISIONS	DESCRIPTION

ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL AREAS AT ALL TIMES. ALL MATERIALS SHALL BE NEW, UNDEGRADED AND OF QUALITY. UNACCEPTABLE MATERIALS SHALL BE REMOVED FROM SITE AT CONTRACTOR'S EXPENSE. ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND PERFORMED BY SKILLED QUALIFIED WORKERS. CONTRACTOR SHALL PROTECT ALL LANDSCAPING AND BUILDING ELEMENTS SUCH AS WINDOWS, LIGHTS, ECT. WITHIN THE AREA OF WORK. ANY DAMAGE SHALL BE REPLACED IN KIND BY THE CONTRACTOR. CONTRACTOR SHALL KEEP WORK AREAS CLEAN OF DEBRIS AND TRASH DURING THE PROGRESS OF THE WORK. CONTRACTOR SHALL REMOVE ALL DEMOLISHED BUILDING MATERIAL FROM SITE TO AN APPROVED COLLECTION AGENCY. PRIOR TO SUBSTANTIAL COMPLETION OF WORK, CONTRACTOR SHALL CLEAN THE WORK AREA SITE AND MAKE IT READY FOR UTILIZATION BY OWNER. CONTRACTOR SHALL REMOVE FROM THE SITE ALL TOOLS, CONSTRUCTION EQUIPMENT, SURPLUS MATERIALS AND RESTORE TO ORIGINAL CONDITION. OWNER AND CONTRACTOR SHALL OBTAIN AND MAINTAIN INSURANCE. OWNER WILL PROVIDE TEMPORARY SANITATION FACILITIES AND ELECTRICITY. PROVIDE A DUPLEX NIEMA 5-15P GFCI RECEPTACLE WITHIN 4 FT. OF NEW EXHAUST FAN. PROVIDE A 15A, 1P BREAKER IN PANEL AS INDICATED. FIELD VERIFY PANEL SPACE IS AVAILABLE, CIRCUIT NUMBER IS BASED ON EXISTING DRAWINGS AND MUST BE ADJUSTED AS REQUIRED.

CLIENT NAME:
TOWN OF HORICON
6604 NYS
BRONT LAKE, NEW YORK 12815

PROJECT NAME:
ROOF FASCIA REPAIR
SHEET NUMBER:
ATTIC ELECTRICAL PLAN

PROJECT INFORMATION	
DATE:	12/16/2024
DESIGNED BY:	PH
DRAWN BY:	PH
REVIEWED BY:	GF
PROJECT NUMBER:	24-004
DRAWING NUMBER:	E-1

Capital Project Cost Breakdown

- Brant Lake Recreation Area Master Plan

Option Four Total Cost = \$693,000.00

Option Five Total Cost = \$398,300.00

Option Six Total Cost = \$641,228.00

Option Seven Total Cost = \$172,800.00

- New Maintenance/Restroom Building

Option One Total Cost = \$725,520.00 with Food Pantry - \$612,960.00 without

Option Two Total Cost = \$707,040.00 with Food Pantry - \$593,760.00 without

- Adirondack Community Museum & Historical Society Building

Total Cost = \$71,184.00

- Horicon Town Museum Building

Total Approximate Cost = \$27,000.00

- Horicon Heintzelman Library

Total Cost = \$54,200.00

- Horicon Town Hall Roof Fascia Repair and Attic Ventilation

Total Cost = \$122,620.00

- Approximate Construction Cost

Grand Total Cost for both Museums, Library and Town Hall = \$275,004.00

Include Option Seven Total Cost of \$172,800.00 = \$447,804.00 for a MINIMAL Construction Cost

Include Option One Total Cost of \$725,520.00 = \$1,000,524.00 for a MAXIMUM Construction Cost

DISCLAIMER NOTE:

These Construction Cost do not include Contractors Builders risk, liability insurance, taxes, Engineers Soft Cost, contingency and other associated cost. Also, some of these cost were completed more than six months ago which are now outdated with today's cost. A recommendation of 35% minimal should be applied to these Construction Cost prior to seeking funding.